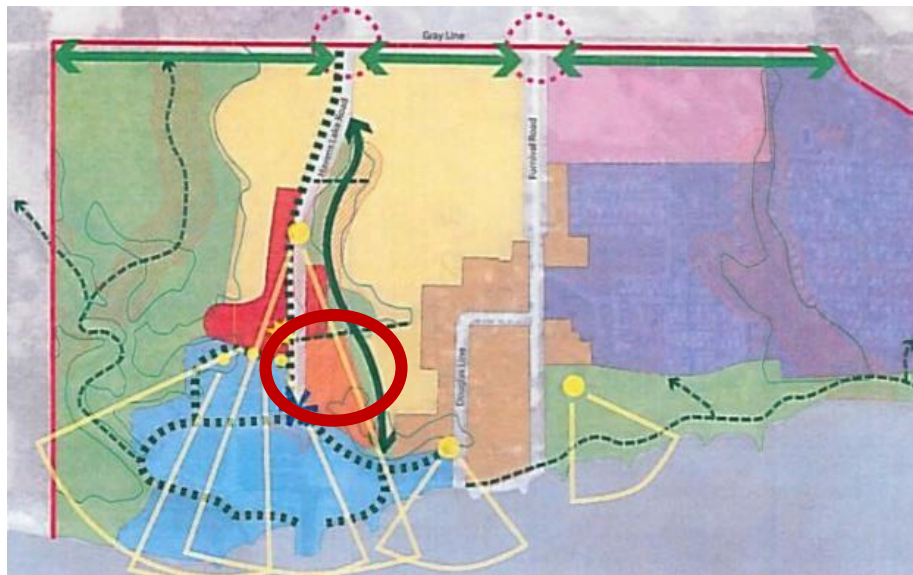


# Planning Report -- COMMERCIAL BLOCK DEVELOPMENT

by **SEASIDE WATERFRONTS INC.**

Havens Lake Road – Port Glasgow

Municipality of West Elgin – County of Elgin



January 2015



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## 1.0 PURPOSE

This Report has been prepared in support of a proposed mixed use Residential-Commercial development by Seaside Waterfronts Inc. ("Seaside") located in Port Glasgow, Ontario. The planning process for the Seaside Development was initiated in 2007. This Report focuses on the proposed development of lands designated commercial by the Port Glasgow Secondary Plan. The subject lands are located on the east side and at the southern terminus of Havens Lake Road, as illustrated by site photos presented as **Figures 1 and 2**, below. Matters of land use planning, severance, zoning, site design, building design, site engineering, servicing, landscape design and ecological impacts are addressed. The larger context of the development of the commercial block is also provided.



**Figure 1 - View of the northerly and easterly extent of the lands proposed for commercial block development**

**Figure 2 - view of the north extent of the proposed commercial block development lands from marina/public lands.**



In addition to this Report is an Environmental Impact Study prepared by Biologics Incorporated, Environmental Planners.

## **2.0 BACKGROUND**

Seaside submitted applications and technical reports in 2011 to the Ministry of Municipal Affairs and Housing (MMAH) in support of Draft Plans of Subdivision and Condominium for the larger Seaside Development. In response to this submission, Seaside received a full circulation response from the agencies. A Secondary Plan was subsequently prepared and adopted by the Municipality of West Elgin and approved by the MMAH, by way of an Ontario Municipal Board order in 2013. Seaside is in the process of modifying the Draft Plans to conform to the Secondary Plan. In December 2013, an application by Seaside was approved by the Lower Thames Conservation Authority (LTVCA) to permit development within their defined regulated area that includes the commercial block area. The next step is to have the severance and rezoning of the lands considered by West Elgin Council. West Elgin staff has requested that the Site Plan Approval application be prepared and submitted with the zoning application in order to ensure that the zoning of the commercial block is comprehensive and takes into account all special and unique circumstances considered as part of the site design and functional servicing. In addition, Seaside proposed to sever the lands from the larger 24 ha holding. Therefore, all three municipal planning instruments (i.e. severance, zoning and site plan approval) are being considered simultaneously. This Report describes the details and land use planning rationale of these applications, showing that it is consistent with the Provincial Policy Statement, conforms to the County Official Plan and conforms to the West Elgin Official Plan.

## **3.0 SEASIDE'S COMMERCIAL BLOCK PROPOSAL**

**Figure 3** presents the site plan for the commercial block that is currently proposed. The commercial block site is of 5065 m<sup>2</sup> and is generally a rectangular- shape, with 92.06 m frontage along Havens Lake Road and an average depth of 60 m. The commercial block is proposed to be developed in 3 phases. This report primarily addresses phases 1 and 2.

The initial two phases consist of a 3 storey building with a ground floor area of 485 m<sup>2</sup>. The ground floor of Phase 1 would include a restaurant, including an outdoor patio, providing a total of 75 seats. Seaside intends to construct Phase 1 using municipal water supply and interim private sanitary services. Phase 2 would involve the creation of retail commercial and office space on the ground floor, and residential apartments and hotel accommodations on the second and third storeys which would not be utilized until full services are provided. Phase 3 would be a northerly extension or a second separate multi- level commercial building.



Figure 3 – Seaside’s proposed site plan for the commercial block.

Seaside believes it to be necessary as a key start-up development to be a very unique aesthetically pleasing architectural structure to achieve the following objectives:

- a. To create a tourist destination in relation to the vistas provided by views of Lake Erie views and associated public beaches;
- b. To create identity for the community of Port Glasgow and the Municipality of West Elgin;
- c. To demonstrate the quality of Seaside development as part of the marketing and promotion for the larger residential-commercial community development.

**Figure 4** presents an architectural sketch and **Figure 5** presents the artist's rendering for the Commercial Block Development. THIS IS TO PROVIDE AN EXAMPLE OF THE TYPE OF UNIQUE ARCHITECTURE BEING CONSIDERED. IT MAY NOT BE WHAT IS ULTIMATELY BUILT.



**Figure 4 – Artist's sketch of the proposed commercial building from Havens Lake Road – Phase 1 and 2**



**Figure 5 – Artist’s rendering of the proposed commercial building (Phase 1 and 2)**

## **4.0 LAND USE POLICY FRAMEWORK**

Being situated in the Municipality of West Elgin, the proposal is subject to the County of Elgin Official Plan, the Municipality of West Elgin Official Plan, and the Provincial Policy Statement (PPS) which governs land use planning in Ontario. Relevant policies from the aforementioned documents that create the planning policy framework for the proposed development are provided below.

### **4.1 OFFICIAL PLAN of WEST ELGIN**

The West Elgin Official Plan (OP) was adopted by Council in February 2008 and approved by the MMAH in 2009. A Secondary Plan (SP) was subsequently created and approved through an order of the Ontario Municipal Board (OMB) which has been added to the Official Plan. The SP provides land use policies specific to the Port Glasgow community area providing guidance and a basis for the evaluation OF future draft plans, zoning and site plan approvals. **Figure 5** presents the Land Use Schedule (Figure 7 in SP) demonstrating that the subjects are designated for commercial development. The subject commercial block is designated in the SP as COMMERCIAL, and the policies that apply are as follows:

#### *“4.2.4 COMMERCIAL USES*

Commercial uses will include those retail, service and hospitality uses which primarily serve the permanent and seasonal residents of Port Glasgow, and the recreational day users and tourist visitors in Port Glasgow. Commercial uses serving regional markets such as, but not limited to automotive retailers, farm implement retailers, recreational vehicle and boating retailers, and big box retailers will be discouraged in Port Glasgow. Unique retail businesses such as artisanal shops, studios, and retailers who produce wares and goods on premises including food, beverage, clothing and crafts will be encouraged. “

In conclusion, the proposed development on the commercial block conforms to the Official Plan (Secondary Plan).

## Land Use Plan - Figure 7



Figure 5 – Land Use Schedule from Secondary Plan



## 4.2 PROVINCIAL POLICY STATEMENT

The proposed development is capable of being consistent with the PPS which aims to provide for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment. A primary objective of the PPS is building healthy, liveable and safe communities. The proposed development would help achieve this objective (as per Section 1.1.1 of the PPS) as it would:

- promote efficient development and land use patterns which sustain the financial well-being of the Province and Municipality over the long term;
- avoid development and land use patterns which may cause environmental or public health and safety concerns;
- avoid development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;
- promote cost-effective development patterns and standards to minimize land consumption and servicing costs; and
- promote development and land use patterns that conserve biodiversity and consider the impacts of a changing climate.

Full municipal services are preferred over individual services, with regards to infrastructure and public services, Section 1.6.6.2 of the PPS states:

*“Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas. Intensification and redevelopment within settlement areas on existing municipal sewage services and municipal water services should be promoted, wherever feasible.”*

**Scoterra Consulting Group** has prepared a comprehensive servicing strategy described in later Sections of this Report.

Also, the proposal is in keeping with the natural heritage policies of the PPS outlined in Section 2.1 which support the long-term protection of natural features and areas. **An Environmental Impact Study (EIS) has been prepared by Biologic Incorporated (Environmental Planners)** that supports and enables the commercial block proposal to establish that it is consistent with the following policies of the PPS.

- Section 2.1.5 of the PPS states development and site alteration shall not be permitted in certain areas applicable in this situation, specifically (paraphrased) , .....*significant woodlands in Ecoregions 6E and 7E ; ..... significant valleylands in Ecoregions 6E and 7E ..... significant wildlife habitat ..... significant areas of natural and scientific interest;*

*and coastal wetlands in Ecoregions 5E, 6E and 7E1 that are not subject to policy 2.1.4(b) ..... unless it has been demonstrated that there will be no negative impacts on the natural features or their ecological functions.*

- Similarly, the proposed development avoids natural hazards. Section 3.1.1 of the PPS states that development shall generally be directed to areas outside of (paraphrased) .... hazardous lands adjacent to the shorelines of the Great Lakes - St. Lawrence River System ..... hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and hazardous sites.

Golders Associates had been part of the application to the LTVCA to gain approvals for development in this designated hazard area and the approval by LTVCA is contained in the Appendix to this Report.

- Section 2.6.2 of the PPS states that development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

**The Archaeology Study prepared by Mayer Heritage Consultants Inc.** and has demonstrated that the commercial block proposal is consistent with this policy of the PPS. .

Hence, the proposed development is able to achieve Provincial objectives with respect to creating safe, liveable and healthy communities; providing suitable services; protecting natural features and areas; avoiding natural hazards; and appropriately developing the subject lands.

**The conclusion is that the commercial block proposal is capable of being consistent with the PPS.**

#### **4.3 OFFICIAL PLAN – COUNTY OF ELGIN**

The County of Elgin is the upper-tier Municipality for West Elgin. The County Official Plan (OP) has three primary land use designations: Agricultural Areas, Settlement Areas and Provincially Significant Woodlands. However, the County recognizes that lands outside of designated Settlement Areas may also be used for certain types of development in accordance with lower tier municipalities Official Plans. Section B2.5 -- HIERARCHY OF SETTLEMENT AREAS

“a) Water supply, treatment and distribution works, along with wastewater collection and treatment works, are the responsibility of the constituent lower tier municipalities and/or private sector organizations engaged by the lower tier municipalities.

.....

c) A hierarchy of settlement areas has been established for the County of Elgin based on the type of servicing. New settlement areas are not contemplated by this Plan and would only be considered on the basis of a comprehensive review in accordance with Section B2.8.

Three tiers of settlement areas are established by this Plan as set out below::

TIER 1 - The first tier includes all of those settlement areas that have full municipal services (municipal water and sewage services). The boundaries of these settlement areas are shown on Schedule A to this Plan and are listed in Table 3. As these settlement areas have both municipal sewage and water services, these settlement areas are the preferred locations for new development.”

Many of the PPS policies are mirrored in the County OP, and likewise, the proposed development would fulfill a number of OP policies related to new growth, the protection of natural areas, and limiting development in hazard areas. These policies are outlined in further detail below:

County Primary Goals (Section A3):

- ensure that an adequate supply of land and housing choices are available for present and future residents;
- protect and enhance significant natural heritage features and areas and their associated ecological and hydrological functions from incompatible development; and
- direct development away from natural and man-made hazardous areas

Natural Systems (Section A4.2)

- protect natural heritage features and areas and their associated ecological functions so that they can be enjoyed by future generations and serve as a legacy to all peoples within our communities;
- recognize that a healthy community is made up of an interconnected system of open spaces and natural heritage features and areas; and
- minimize the loss of life and property damage caused by natural hazard processes associated with natural systems by directing development and site alteration to areas outside of hazardous lands

Natural Heritage, Water and Natural Hazards (Section D1.1)

- identify known natural heritage features and to protect those features and their ecological functions from incompatible uses;
- implement necessary restrictions on development and site alteration to: protect all municipal drinking water supplies and designated vulnerable areas; and protect, improve or restore vulnerable surface and ground water, sensitive surface water features and sensitive ground water features, and their hydrologic functions; and
- direct development and site alteration to areas outside hazardous lands adjacent to the shorelines of Lake Erie which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards; hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and hazardous sites.

### **The commercial block proposal is capable of being in conformity with the County Official Plan**

## **5.0 ZONING**

The application for an amendment to the West Elgin zoning bylaw requests a change from the current AGRICULTURE (A-1 and A1-20) zoning, to a site specific commercial zone. The following principles were used to propose the rezoning and regulations.

1. The established TOURIST COMMERCIAL (C3) ZONE is proposed to be the base zone and there are some special regulations being requested. It is suggested that the zone would be site specific and labeled C3(1) with the (1) setting out the special regulations that would apply to the zone that would be specific to the subject property.
2. The zoning proposed would permit Phases 1, 2 and 3 of the development of the commercial block, although the current companion Site Plan Approval Application is for part of Phases 1 – being the 75 seat restaurant.
3. Table 1, presented below, compares the existing C3 zone regulations with the proposed development shown on the attached site plan. Nearly all regulations are being complied with. The exceptions are highlighted in red bold and italicized text.
4. The zoning regulation comparison assumes the following:
  - a. The Havens Lake Road frontage of the commercial block is the “legal zoned frontage”.
  - b. The Municipal Road Allowance along the southern boundary of the commercial block makes the separation space between the southerly boundary/road

allowance and the south face of the proposed commercial building an EXTERIOR SIDEYARD.

- c. BUILDING HEIGHT is measured from average site grade to the eaves and ½ way up gable ends of pitched or peaked roof structures.

5. The special exceptions and new regulations should read as follows:

*“Notwithstanding the regulations in the Tourist Commercial C3 zone, the following regulations shall apply:*

- a) Building height for main building – 12 m maximum.*
- b) Building /Structure height for architectural attraction features – 15 m.*
- c) Off-street Parking –31 spaces.*
- d) Front yard setback for Phase 3 – 1 m minimum*

**TABLE 1 -- Comparison of Tourist Commercial (C3) zone and proposed rezoning of the Commercial Block for Phases 1 and 2**

REGULATION All “minimums” unless otherwise stated	TOURIST COMMERCIAL (C3) ZONE	PROPOSED ON SITE PLAN BY SEASIDE	COMMENT	PROPOSED SPECIAL ZBA REGULATION
• LOT AREA	2000 m <sup>2</sup>	5367 m <sup>2</sup>	complies	
• LOT FRONTAGE	30 m	92.13 m	complies	
• LOT COVERAGE - maximum	35%	9.95 %	534 m <sup>2</sup> ground floor area for phases 1 and 2 complies	
• FRONT YARD DEPTH	15 m	27.0 m	complies	<b>1 m to accommodate phase 3</b>
• SIDE YARD DEPTH - interior	4.5 m	40.0 m plus	complies	
• SIDE YARD DEPTH - exterior	15 m	15.0 m	complies	
• REAR YARD DEPTH	7.5 m	15.0 m	complies	

<ul style="list-style-type: none"> <li><b>BUILDING HEIGHT - max</b></li> </ul>	<i>10.5 m</i>	<i>12 m - excludes architectural attraction feature ( look-out tower)</i>	<i>assumes 4 m per storey x 3 storeys = 12 m</i>	<i>12 m for main building and 3 m for the architectural attraction</i>
<b>PARKING</b> <b>restaurant</b>  <b>retail</b> <b>office</b>  <b>dwelling unit</b>	1 / 5 seats  1 / 30 m <sup>2</sup> 1 / 45 m <sup>2</sup> 1 per unit	75 seats = 15 120 m <sup>2</sup> = 4 135 m <sup>2</sup> = 3 8 units = 8 total = 30	31 spaces provided complies for phase 1 and 2	<i>31 spaces to be required on entire zoned site</i>

The **planning rationale for regulation 5a)** is that the building height maximum is currently 10.5 m in the C3 zone according to the zoning bylaw for the Municipality of West Elgin. It can be assumed that 1 storey of building height is equivalent to 4 m from floor-to-floor. This would provide for 9 or 10 foot high ceilings which is an integral part of the architecture. Three storeys are permitted by the Secondary Plan and therefore a 12 m building height maximum is desired.

The **planning rationale for 5b)** is that the provision of architectural attraction features is encouraged in the Secondary Plan to create landmark identity, uniqueness and add to the Lake Erie view-scape. Additional height of these features would contribute to these objectives as well as the architecture of the building itself. Specifically, a look-out tower would be located at the southerly face of the restaurant and provide an amenity for patrons and the community. The difference in land elevation between the average grade of the site and the table lands to the east is about 17 m

The **planning rationale for 5c)** is that there is sufficient parking on-site at this location and that the phase 2 and 3 will occupy the remainder of the site. It is noted that the Secondary Plan contemplates a “main-street” style Village Centre along the southerly segment of Havens Lake Road that will provide ample on-street parking. There is additional parking on the public lands around the marina lands.

The **planning rationale for 5d)** is that Phase 3 is to locate buildings close to the right-of way of Havens Lake Road that would be the start of mainstreet style of development.

## **6.0 SITE PLAN APPROVAL APPLICATION**

Seaside is submitting a formal application for SITE PLAN APPROVAL for part of Phase 1 being the 75 seat restaurant. The reason for proposing only part of Phase 1 at this time is because of sanitary servicing constraints that are explained in section 6. The Site Plan and supporting engineered servicing plans are part of this application and follow the application in the Appendix 1. The full submission of large sheet site plans, site servicing plans and building plans are being submitted separately.

## **7.0 ENGINEERING SERVICES and SLOPE STABILITY**

The services that will be provided to the site have been well documented in the LTVCA application and the 2011 Functional Servicing Report prepared by Sco-Terra Consulting Group Ltd. Excerpts from the functional servicing report are provided below.

### **7.1 Site Servicing, Grading and Stormwater Management**

Details related to site servicing, grading and stormwater management, including erosion and sediment control measures proposed during the construction phase of the project, are set out in the following Engineering Drawings prepared in support of the attached application made under O. Reg. 152/06:

Drawing No. SS1 Site Servicing and Grading Plan

Drawing No. SS2 General Construction Notes and Details

Drawing No. SS3 Grading Sections

An overview of engineering matters including site servicing, grading and drainage, stormwater management and geotechnical evaluation of slope stability is provided below.

### **7.2 Water and Sewage Servicing**

The proposed Phase 1 commercial parcel will be serviced by municipal water, through implementation of a private water services connection from the existing municipal watermain located within Havens Lake Road. Interim sanitary service will be in the form of a temporary sewage holding tank with off-site haulage to the Rodney Sewage Treatment Plant. Interim sanitary servicing is required until such time as a permanent wastewater servicing solution is established in conjunction with the larger Seaside Development, which matter remains subject to completion of a Municipal Class Environmental Assessment, currently in process, which is

integrated with the Seaside Draft Plan Approvals required under the Planning Act. The interim holding tank remains subject to local approval under Part 8 of the Ontario Building Code.

### **7.3 Entrance Culvert**

Access to the commercial site requires crossing of an existing drainage feature (Class F, intermittent) located east of Havens Lake Road. Based on consultation with Seaside's Consulting Biologist, Mr. Dave Hayman, MSc. of Biologic Incorporated, an open footing culvert design has been selected to accommodate the passage of aquatic and terrestrial species accessing this watercourse from or in proximity to the marina basin and Lake Erie. This 'passage' culvert will be an open footing 'arch' configuration of either structural steel plate or pre-cast concrete construction, such that bottom channel geometry, channel substrate conditions and existing vegetation associated with this watercourse are maintained and/or enhanced.

The culvert 'arch' design configuration is selected to 'bridge' and preserve the existing condition of the watercourse feature, so as to facilitate passage of various aquatic-terrestrial species. This habitat-based criteria governs the size, span and cross-sectional area of the culvert, which far exceed the hydraulic conveyance requirements associated with the intermittent watercourse, which currently outlets to the marina basin through a 1.0 metre diameter corrugated steel pipe (CSP) culvert, approximately 31 metres downstream of the proposed commercial entrance.

### **7.4 Site Grading and Drainage**

The site entrance and parking area are proposed to be elevated above existing grade (granular fill placement, with approximately 3.4% gradient from the edge of pavement 'match point' at Havens Lake Road to the south limit of the parking area. A catch basin is positioned at the south end of the parking lot to intercept surface runoff from this impervious area, with outlet to a proposed oil and grit separator (OGS) stormwater quality treatment unit. The phase 1 and future phase 2 buildings are positioned back (east) of the proposed parking area, extending into the toe of the existing slope, which is of approximately 4 horizontal to 1 vertical (4:1) inclination. This results in the ground floor level of the building being cut approximately 1.80 m (6 ft.) into the slope, as illustrated on Drawing SS3 – Section "C", resulting in a "front walk-out" type building-grading configuration.

Stormwater runoff from the roof of the building is to be directed to a stormwater bioswale proposed in the east rear yard and south side yard areas. This bioswale will also serve as an 'interceptor' drain for overland runoff generated upslope of the commercial development, within the Protected Natural Corridor defined under the Port Glasgow Secondary Plan.



## **7.5 Stormwater Management**

Stormwater runoff generated within the commercial entrance and parking area (31 spaces) will be directed to an OGS unit designed to provide “enhanced protection” (> 80% suspended solids removal), in accordance with the MOE Stormwater Management Planning and Design Manual (March 2003). The OGS unit will also provide hydrocarbon capture and containment from the cumulative effects of vehicular traffic and parking over time, or in the case of a spill (e.g. a ruptured fuel tank), in respect of the adjacent watercourse and marina basin to which it discharges. As referenced above, the building roof, adjacent landscaped areas and upslope areas (Protected Natural Corridor) which are to remain in a naturalized condition, will be directed to a stormwater bioswale. The bioswale will be utilized to attenuate stormwater runoff from the rooftop, landscaped areas, and the upslope vegetated areas which are to be maintained in their natural or existing condition, in accordance with the “Protected Natural Corridor” designation of these adjoining lands under the Port Glasgow Secondary Plan. Pursuant to recommendations received from the LTVCA Executive Committee the capacity of the bioswale has been increased both on the surface (swale) and sub-surface (tile under drain) to address concerns regarding climatic trends toward more intense rainfall events. This has precipitated a modest (4.3 m) increase to the rear yard of the proposed commercial block.

The location of the stormwater bioswale is shown on Drawing SS1 and a section/detail is provided on Drawing SS2. The bioswale provides for surface and sub-surface attenuation of stormwater runoff, prior to controlled release to the receiving watercourse east of Havens Lake Road. Infiltration and recharge to the shallow aquifer is encouraged in seasonally dry conditions where feasible, with residual runoff directed to surface waters. The bioswale will contain a variety of tolerant emergent and upslope plantings that offer naturalized areas and landscaping opportunities which integrate with the natural environment. Temporary ponding within the bioswale is limited to 150 mm (6”), with overflow to a series of grated riser pipes (or yard catchbasins) connected to a common sub-surface infiltration trench and overflow sub-drain, with relief outlet to the watercourse east of Havens Lake Road.

## **7.6 Geotechnical Evaluation of Slope**

The subject lands are significantly influenced by the prior development of Havens Lake Road, which extends through the Lake Erie bluff to the Port Glasgow marina, providing public/vehicular access to the marina, Sixteen Mile Creek and the public beach located west of Sixteen Mile Creek. The site is understood to be in a ‘critical’ regulated area as defined in the LTVCA Operational Guidelines (Rev. March 6, 2012) under O. Reg. 152/06, due to its proximity to the Lake Erie Shoreline. The historic development of the Port Glasgow marina and the development

of Havens Lake Road through a significant cut through the Lake Erie bluff in this location warrant careful consideration in balance with the LTVCA Operational Guidelines.

The proponent has had the slope within the proposed commercial parcel evaluated by a Senior Geotechnical Engineer with historic involvement in the project, Mr. Phil Bedell, P.Eng. of Bedell Engineering Inc. (formerly of Golder Associates Ltd.). The geotechnical slope evaluation is further to extensive geotechnical investigations of the site previously undertaken by Golder Associates Ltd. and LVM Inc. on behalf of Seaside. In the professional opinion of Mr. Bedell, the existing slope's safety and stability is not compromised by the proposed siting of the Phase 1 and future Phase 2 commercial buildings.

## **8.0 CONSENT FOR LAND SEVERANCE**

Seaside is proposing to sever the commercial block from its larger 10.216 ha (25.2 ac.) holding that would comprise that large community development. The CONSENT FOR LAND SEVERANCE matter requires an application be made to the LAND DIVISION COMMITTEE (LDC) at the County of Elgin. Local Municipal comment is required as part of the consideration by the LDC. It is intended to submit the application once West Elgin has considered this Report with the companion rezoning application and the site plan approval application. The severance sketch would present:

1. THE PARCEL TO BE RETAINED - being the larger Seaside holding of 9.679 ha (23.9 ac.)
2. THE PARCEL TO BE SEVERED -- being the commercial block of 0.5367 ha (1.3 ac.)

**Figure 6** presents the SEVERANCE SKETCH.

## **9.0 LOWER THAMES VALLEY CONSERVATION AUTHORITY APPROVAL (LTVCA)**

The commercial block lands are within a 'critical' regulated area due to their proximity to the Lake Erie shoreline, pursuant to Ontario Regulation 152/06 (under O. Reg. 97/04) made under section 28 of the Conservation Authorities Act. In reviewing this application, we are also requesting that the proposed development and associated support documentation be screened with respect to section 35 of the Fisheries Act, pursuant to the LTVCA's level-2 agreement with the Federal Department of Fisheries and Oceans (DFO). It is recognized that imminent changes to the Fisheries Act may influence the extent of LTVCA's review under this legislation.

The Seaside's submission of an **Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses pursuant to Ontario Regulation (O. Reg.) 152/06**, for phase 1 and future phase 2 of a 0.51 hectare (slightly smaller land area) commercial



development was made in November 2013. The following documents were included as part of this application:

1. Application for Development, Interference with Wetlands and Alterations to Shorelines and Watercourses by Sco-Terra Consulting Group Limited (agent) on behalf of Seaside Waterfronts Inc. (applicant), pursuant to O. Reg. 152/06 made under s.28 of the Conservation Authorities Act;
2. Cheque in the amount of \$350 payable to LTVCA for: "Fill Placement/Removal/Site Grading/Channel Altering: over 40 cubic metres of material or over \$2,500 estimated cost";
3. Cheque in the amount of \$400 payable to LTVCA for: "Fee for a local Hearing before Executive Committee";
4. Port Glasgow Secondary Plan – Land Use Plan Figure 7 identifying "Commercial" land use designation;
5. Site Plan prepared by Ron Koudys Landscape Architect dated October 30, 2013;
6. Conceptual artist rendering of phase 1 and future phase 2 commercial buildings complete with architectural attraction feature in the form of a "viewing tower", in conformance with the Port Glasgow Secondary Plan;
7. Site Servicing and Grading Plan – Drawing SS1 by Sco-Terra Consulting Group dated Nov. 20, 2013;
8. General Construction Notes and Details – Drawing SS2 by Sco-Terra Consulting Group dated Nov. 20, 2013;
9. Grading Sections - Drawing SS3 by Sco-Terra Consulting Group dated Nov. 20, 2013;
10. Geotechnical Evaluation of Slope Stability, Bedell Engineering Inc. Letter (Revised) dated November 21, 2013.

**A verbal decision to approve the development was made and the written decision from the LTVCA is provided as an Appendix to this report.**

## **10.0 SUMMARY and CONCLUSION**

Seaside looks forward to Council's consideration of this submission and is seeking the following:

- a) Adoption of the amendment to the Zoning Bylaw to rezone the commercial block from Agriculture to Tourist Commercial – C3 (special provision);
- b) Approval in principle of the site plan approval application – subject to the re-zoning coming into effect;

- c) A supportive resolution to the Land Division Committee for the severance of the commercial block from the larger Seaside holding.

The planning rationale SUMMARY for the above is as follows.

- i) The commercial block proposal is in conformity with the Official Plan – specifically the Secondary Plan for Port Glasgow.
- ii) The commercial block proposal is consistent with the Provincial Policy Statement.
- iii) The site design and building design will contribute to the economic development and tourism objectives of West Elgin and the County.
- iv) The commercial block development will be the first step – “*on the ground ... physical development*” -- in realizing Seaside’s new community development objectives that began in 2007.
- v) The servicing of the site with municipal water, interim sanitary servicing, longer range permanent sanitary servicing, and storm water management have been fully investigated within the context of the approvals being sought.
- vi) Appropriate ecological considerations have been built into the site design to ensure preservation and enhancement of natural habitat, specifically the drain/water course along Havens Lake Road and the protected natural corridor on the up-slope.

APPENDICES ... follow

1. LTVCA Decision - on Application for  
Development, Interference with Wetlands and  
Alterations to Shorelines and Watercourses  
pursuant to Ontario Regulation (O. Reg.)  
152/06.



**CHAIR**  
Brian King  
Municipality of Chatham-Kent

**VICE-CHAIR**  
John Kavelaars  
Municipality of Southwest Middlesex



March 5, 2014

Seaside Waterfronts Inc  
62 Ontario Road  
Mitchell, Ontario  
N0K 1N0

Attn: **Mr. Culligan**

Re: **Authority Application No. 237-2013**  
**E side Havens Lake Road**  
**Part Lot 6, Concession 14**  
**Municipality of West Elgin**

The Lower Thames Valley Conservation Authority (LTVCA) received your proposal to undertake the construction of a 3 phased commercial development comprising a hotel/inn, restaurant, retail and accessory uses on a 5,065 m<sup>2</sup> site at the base of Haven's Lake Road in Port Glasgow. It is understood that approval is being sought for Phases 1 and 2. After reviewing our files and mapping, it has been determined that the property is subject to the Authority's Development portion of the regulation, R.S.O. 152/06. The issue of concern within this area is construction within the Critically Regulated Area (CRA) of the Lake Erie shoreline, the natural watercourse, back slope stability, flooding and erosion.

The project proposal, as submitted to this office, consists of:

- The construction of a new 317 m<sup>2</sup> commercial structure within the CRA of the Lake Erie Shoreline.

As the proposed structure was located completely within the Critically Regulated Area of the Lake Erie shoreline and adjacent to a steep slope a hearing was held before the Executive Committee on December 19, 2013 as staff could not approve the application as submitted. At the meeting the following recommendation was passed:

C. Wright – J. Kavelaars

Moved that the Committee approve Application No. 237-2013 for Phases 1 and 2 of a three phase proposed development; phase 1 consisting of a restaurant/pub and viewing tower located in accordance with the site plan prepared by Ron Koudys Landscape Architect dated November 20, 2013 (phase 2 consisting of an expansion to the phase 1 building in accordance with the site plan); and subject to the following conditions:

- Confirmation from the Municipality of West Elgin that the Sewage Holding Tank will be approved in the proposed location;

*"CELEBRATING OVER 50 YEARS OF CONSERVATION"*

100 THAMES ST. • CHATHAM, ON • N7L 2Y8 • 519-354-7310 • FAX 519-352-3435 • [www.ltvca.ca](http://www.ltvca.ca)  
DON PEARSON - GENERAL MANAGER / SECRETARY-TREASURER





## 2.Site Plan Approval application



## APPLICATION for SITE PLAN APPROVAL

### 1. COMPLETION OF THE APPLICATION

The application must be completed in its entirety. Measurements shall be in metric. Failure to file a completed and accurate application may result in the application being returned to the applicant or delayed in processing the application.

### 2. FILING THE APPLICATION

The duly signed and completed application along with **8 copies** of the site plan shall be filed with the Municipality along with a copy of the deed or reference plan (survey) and a fee of **\$2,000.00** payable in cash or by cheque to the CORPORATION of the MUNICIPALITY OF WEST ELGIN as set out in By-law No. 2005-62.

### 3. AGREEMENT & SECURITY

The Planning Act provides for the registration of a site plan agreement (between the owner and the Municipality) against the land to which it applies, thereby making it binding on subsequent owners. To encourage and expedite compliance with the terms of the agreement, the owner is generally required to provide the Municipality with security in the amount of **\$5,000** in the form of a letter of credit, or similar legal tender prior to the execution of the agreement. The amount of security will be specified in the agreement and is understood to cover a portion of the costs of the facilities, works and improvements specified in the agreement.

### 4. APPEAL

In the event the Municipality fails to approve the plans submitted within **30 days** of their submission for approval, the owner may lodge an appeal to the Ontario Municipal Board. The owner may also lodge an appeal if dissatisfied with the works or facilities required, or any of the terms of the agreement. A hearing of the Board will be convened for the purposes of determining and resolving these issues.

### 5. OTHER REQUIREMENTS

Acceptance of the application by the Municipality, along with the required application fee, shall not be construed as relieving the applicant from the obligation to comply with the requirements of the Ontario Building Code or any other by-law of the Municipality, or the obligation to obtain any license, permit, authority or approval required by the Municipality or any other public authority or body.

### 6. ADDITIONAL INFORMATION

For additional information/clarification of the procedure which is followed and the requirements for submitting and processing your application, contact the Municipality at:

***Municipality of West Elgin***  
*22413 Hoskins Line*  
*Rodney, Ontario*  
*N0L 2C0*  
Phone: (519) 785-0560  
Fax: (519) 785-0644  
Email: [westelgin@westelgin.net](mailto:westelgin@westelgin.net)

Municipality of West Elgin  
22413 Hoskins Line  
Rodney, Ontario  
N0L 2C0  
Phone: (519) 785-0560  
Fax: (519) 785-0644  
Email: westelgin@westelgin.net

**APPLICATION for  
SITE PLAN APPROVAL**

Application No. \_\_\_\_\_

**1. Registered Owner of Lands**

- a) Name Seaside Waterfront Inc. c/o Howard Culligan
- b) Mailing Address 62 Ontario Road, Mitchell, ON N0K 1N0
- c) Telephone 519 - 348 - 4706
- d) Fax \_\_\_\_\_
- e) E-mail howard@culliganrealty.com
- f) Name and Address, if known, of the holder of any mortgage, charge or other encumbrance in respect of the lands.
- \_\_\_\_\_
- \_\_\_\_\_

**2. Applicant (if different from owner)**

- a) Name \_\_\_\_\_
- b) Mailing Address \_\_\_\_\_
- c) Telephone \_\_\_\_\_
- d) Fax \_\_\_\_\_
- e) E-mail \_\_\_\_\_

**3. Agent (if retained)**

- a) Name Kirkness Consulting Inc. Urban and Rural Planning
- b) Mailing Address 1647 Cedar creek Crescent, London. ON N5X 0C8
- c) Telephone 519-672-6550
- d) Fax 519-672-4290
- e) E-mail Laverne@kirknessconsultinginc.ca

**4. Communication**

To whom should all communication be directed? (check only one)

- a) Owner \_\_\_\_\_ b) Applicant \_\_\_\_\_ c) Agent X

**5. Location of Lands**

- a) Lot No. part 6 Concession No. 14
- b) Lot No. \_\_\_\_\_ Registered Plan No. \_\_\_\_\_
- c) Part No. \_\_\_\_\_ Reference Plan No. \_\_\_\_\_
- d) Street No. and Name \_\_\_\_\_



**13. Method of Sewage Disposal**

- a) public sanitary sewage system \_\_\_\_\_
- b) private individual system yes
- c) private communal system yes - ultimately
- d) other (specify) \_\_\_\_\_

**14. Method of Storm Drainage**

- a) storm sewers \_\_\_\_\_
- b) swales yes
- c) ditches yes
- d) other (specify) OGS facilities

**15. Access (indicate name)**

- a) County Road: \_\_\_\_\_
- b) Municipal Street/Road: Havens Lake Road
- c) Private Road: \_\_\_\_\_
- d) Right-of-Way: \_\_\_\_\_
- e) If b), is the street or road maintained year-round? Yes \_\_\_\_\_ No x

**16. Site Plan**

The site plan must be an accurate, legible, scaled drawing professionally prepared. To comply with the requirements of the Registry Office, the final plan size shall be 21.6 cm x 35.6 cm (8 1/2" x 14"). The plan should be prepared and submitted at a larger scale and photographically or by other means reduced to the above size. Details shall be legible on the reduced version of the plan. The date of preparation and the date of any revisions shall be shown on the plan. The plan shall contain the following information:

- a) property dimensions and abutting roads;
- b) existing buildings and structures and their dimensions;
- c) proposed buildings and structures
- d) signs, garbage storage areas/enclosures and their dimensions;
- e) existing and final grades and storm drainage provisions;
- f) distance of all buildings and structures to property lines;
- g) any easements or rights-of-way on the lands;
- h) significant physical features on or abutting the lands (e.g. watercourses, municipal drains, wood lots, rail lines);
- i) location, dimensions and surfacing of any existing or proposed entrance driveways and their width at the property line;
- j) location, surfacing and number of any parking spaces and loading spaces and their dimensions;
- k) name, location and width of any public roads abutting the lands and the status of the road (e.g. unopened road allowance, public travelled road);
- l) landscaping and buffering; and
- m) other information considered appropriate.

**DECLARATION**

I/We (please print) Laverne Kirkness  
am/are the \_\_\_\_\_ Owner(s) \_\_\_\_\_ Applicant(s) x Agent  
of the City of London , in the  
County of Middlesex , do solemnly declare:

**THAT** to the best of my/our knowledge and belief, all the information and statements given in this requested amendment and in all the plans, drawings and exhibits transmitted herewith are true; and

**THAT** I/We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath, and by virtue of the Canada Evidence Act.

Declared before me at

\_\_\_\_\_  
of \_\_\_\_\_ , in the  
\_\_\_\_\_ of \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_  
20 \_\_\_\_\_ .

\_\_\_\_\_  
a Commissioner, etc.

\_\_\_\_\_  
Owner(s), Applicant(s) or Authorized Agent

\_\_\_\_\_  
Owner(s), Applicant(s) or Authorized Agent

**AUTHORIZATION**

If the applicant is not the owner of the land that is the subject of this application, the written authorization of the owner must be included with this form or the authorization set out below must be completed.

**Authorization of Owner for Agent  
To Make the Application**

I/We \_\_\_\_\_ am the owner of the land that is the subject of this  
Application for Site Plan Approval, and I/we authorize \_\_\_\_\_  
to make this application on my/our behalf.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner

---

**FOR OFFICE USE ONLY**

1. Date of Receipt: \_\_\_\_\_

2. Checked By: \_\_\_\_\_

3. Approved for Processing: \_\_\_\_\_  
name date

4. Application Fee Received: \_\_\_\_\_

5. Application No: \_\_\_\_\_

6. Assessment Roll No: \_\_\_\_\_

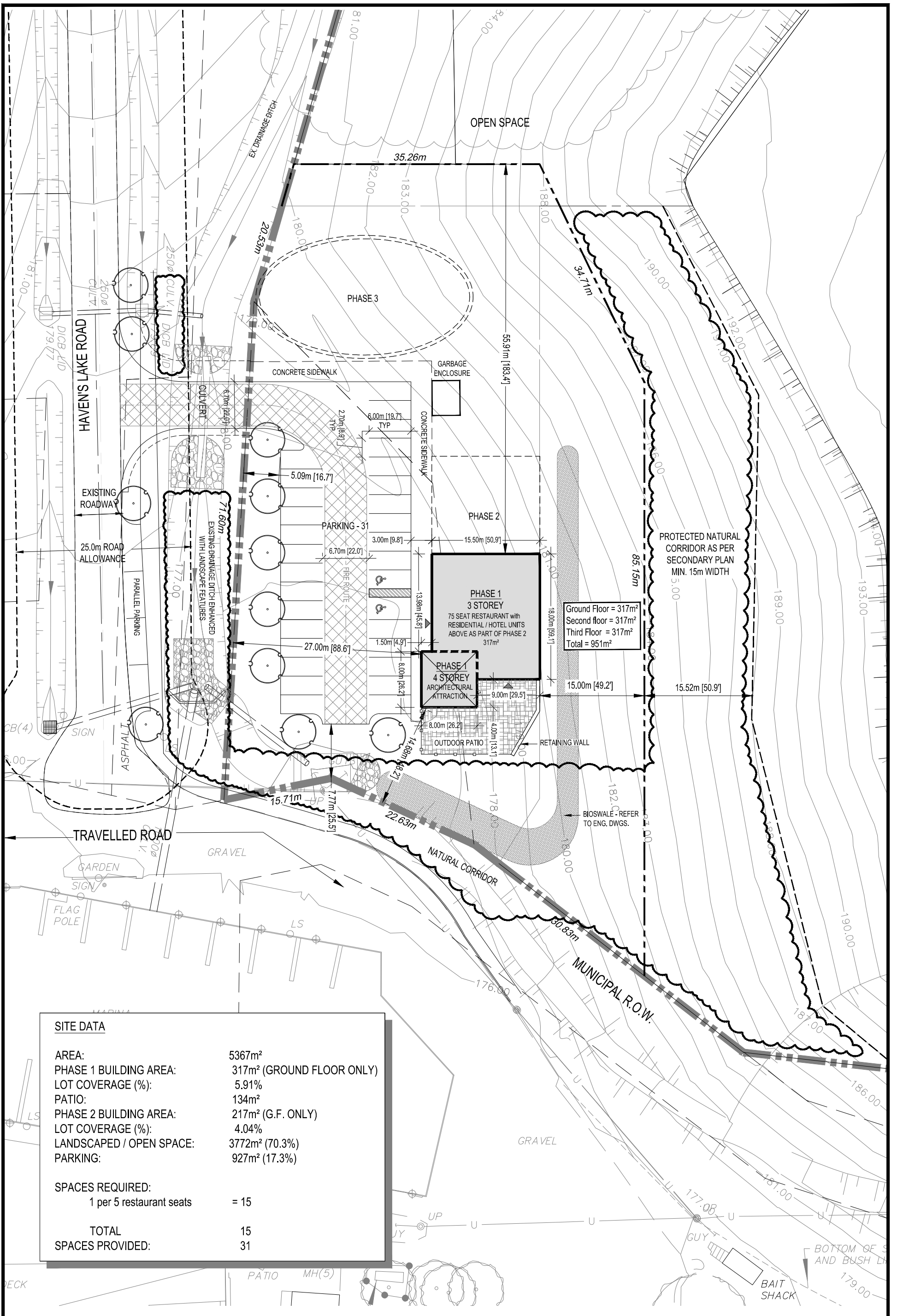
7. Tax Arrears (if any): \_\_\_\_\_

8. Outstanding Orders (if any): \_\_\_\_\_

9. Additional Information:  
\_\_\_\_\_  
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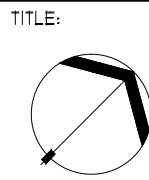
### 3.SITE PLAN – RKLA Inc.





Ground Floor = 317m<sup>2</sup>  
 Second floor = 317m<sup>2</sup>  
 Third Floor = 317m<sup>2</sup>  
 Total = 951m<sup>2</sup>

SITE DATA	
AREA:	5367m <sup>2</sup>
PHASE 1 BUILDING AREA:	317m <sup>2</sup> (GROUND FLOOR ONLY)
LOT COVERAGE (%):	5.91%
PATIO:	134m <sup>2</sup>
PHASE 2 BUILDING AREA:	217m <sup>2</sup> (G.F. ONLY)
LOT COVERAGE (%):	4.04%
LANDSCAPED / OPEN SPACE:	3772m <sup>2</sup> (70.3%)
PARKING:	927m <sup>2</sup> (17.3%)
SPACES REQUIRED:	
1 per 5 restaurant seats	= 15
TOTAL SPACES PROVIDED:	31



TITLE:  
**PORT GLASGOW  
 PROPOSED COMMERCIAL DEVELOPMENT -  
 PHASE 1 SITE PLAN**

PROJECT NUMBER: 07-192	SCALE: 1:500
DRAWN BY: RKLA Inc.	DATE: JAN.17.2014
DRAWING NUMBER: 07-192 L-1aV	



PROTECTED NATURAL CORRIDOR AS PER SECONDARY PLAN MIN. 15m WIDTH

Ground Floor = 317m<sup>2</sup>  
 Second floor = 317m<sup>2</sup>  
 Third floor = 317m<sup>2</sup>  
 Total = 951m<sup>2</sup>

PHASE 1  
 3 STOREY  
 75 SEAT RESTAURANT with RESIDENTIAL / HOTEL UNITS ABOVE AS PART OF PHASE 2  
 317m<sup>2</sup>

PHASE 1  
 4 STOREY  
 ARCHITECTURAL ATTRACTION

PARKING - 31

PHASE 3

OPEN SPACE

HAVEN'S LAKE ROAD

TRAVELLED ROAD

EXISTING ROADWAY

25.0m ROAD ALLOWANCE

PARALLEL PARKING

ASPHALT

GARDEN

FLAG POLE

MARINA

MARINA

MUNICIPAL R.O.W.

NATURAL CORRIDOR

BIOSWALE - REFER TO ENG. DWGS.

GRAVEL

GRAVEL

GRAVEL

EX. DRAINAGE DITCH

CULVERT

CULVERT

EXISTING DRAINAGE DITCH ENHANCED WITH LANDSCAPE FEATURES

GARBAGE ENCLOSURE

CONCRETE SIDEWALK

OUTDOOR PATIO

RETAINING WALL

SIGN

SIGN

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GRAVEL

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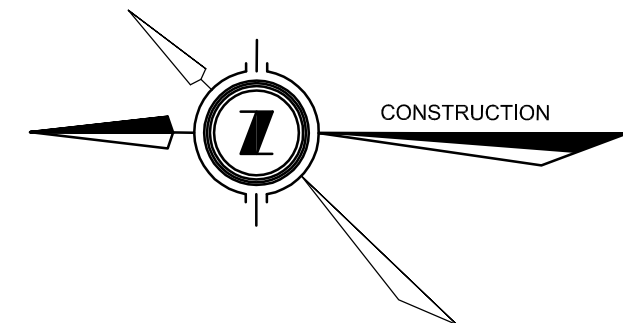
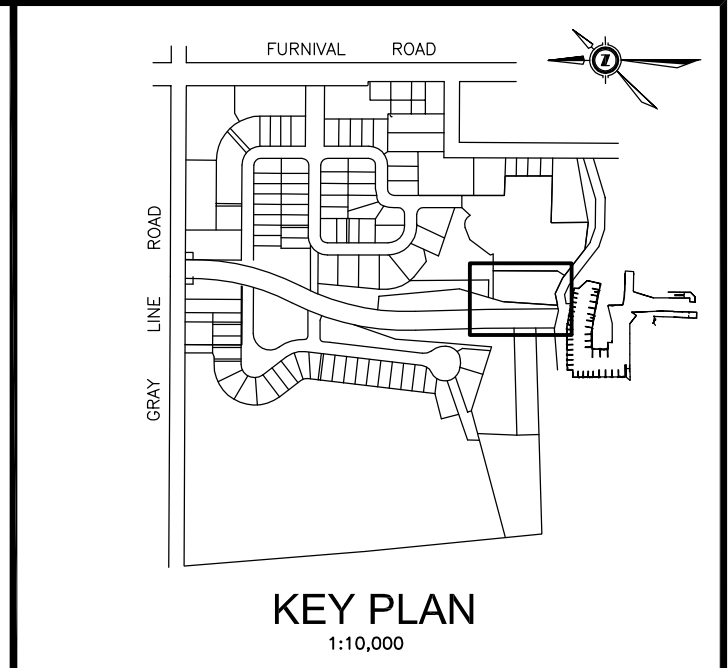
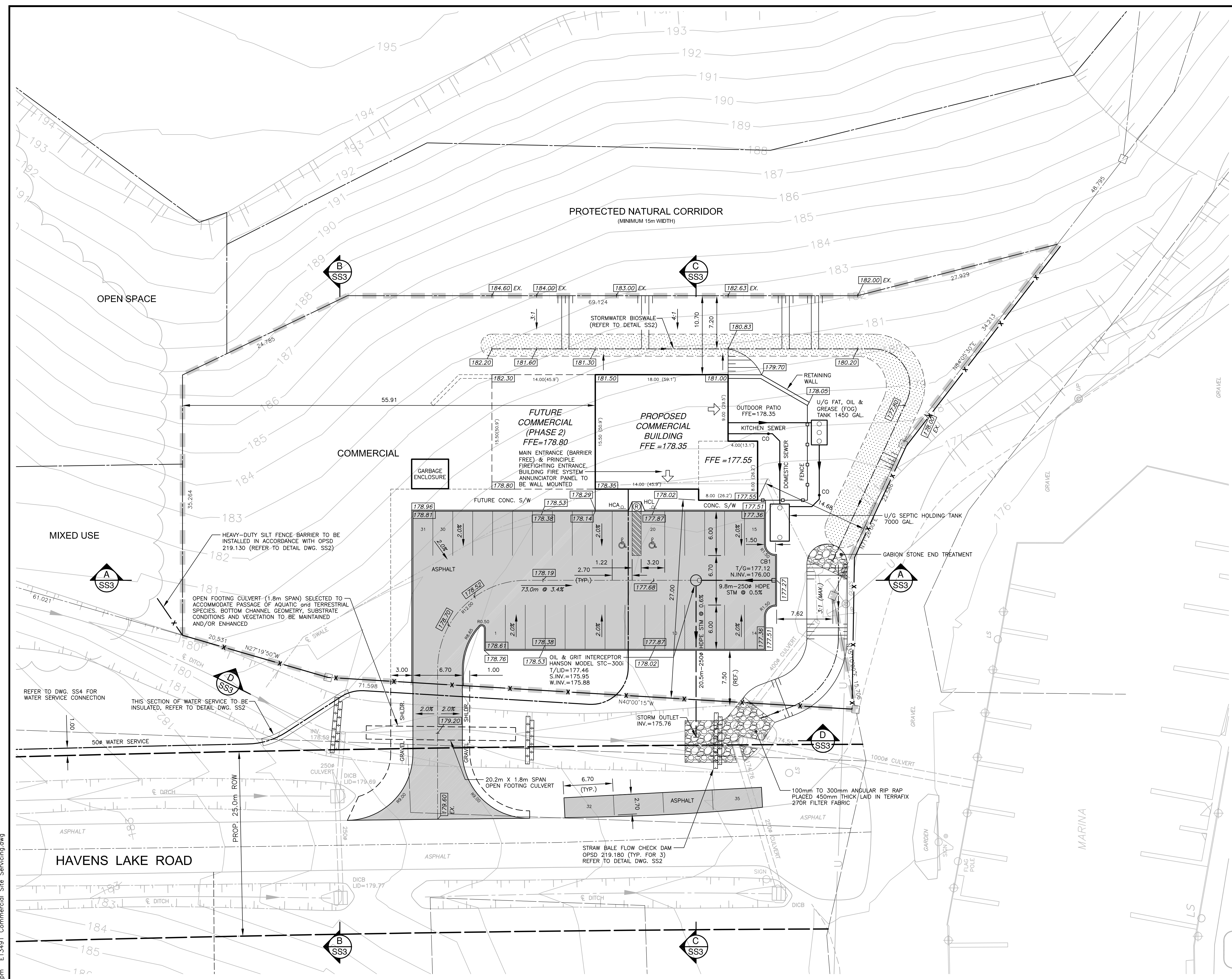
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## 4. Drawing No. SS1 Site Servicing and Grading Plan



- LEGEND**
- 100# WM EXISTING WATERMAIN
  - 1000# CULVERT EXISTING STORM CULVERT
  - EXISTING DITCH/SWALE
  - DICB EXISTING DITCH INLET CATCHBASIN
  - UP EXISTING HYDRO POLE
  - LS EXISTING LAMP STANDARD
  - 38# WATER SERVICE PROPOSED WATER SERVICE
  - 250# STM PROPOSED STORM SEWER
  - CB PROPOSED CATCHBASIN
  - PROPOSED DITCH/SWALE
  - 150# SAN PROPOSED SAN SEWER
  - CO PROPOSED CLEAN OUT
  - PROPOSED CURB
  - 272.00+ PROPOSED FINAL GRADE
  - PROPOSED DRAINAGE DIRECTION
  - PROPOSED SIDEWALK RAMP
  - HEAVY DUTY ASPHALT PAVEMENT
  - BARRIER FREE (PAINTED) ACCESS
  - RIVER STONE and PLANTINGS
  - RIP RAP
  - BUILDING ENTRANCE



ISSUED FOR LTVCA APPROVAL

furgon Nov.22/13-1:16pm E13491 Commercial Site Servicing.dwg

**BENCHMARK**  
ELEVATIONS ARE GEODETIC AND REFERRED TO STATION 0011971U076 BEING BENCHMARK IN A MANHOLE IN THE GROUNDS OF KNOX PRESBYTERIAN CHURCH ON THE SOUTHWEST SIDE OF COUNTY ROAD No. 3 IMMEDIATELY SOUTHEAST OF HIGHWAY 3 INTERSECTION. ELEVATION = 200.149

**SITE BENCHMARK**  
CUT-CROSS IN CURB LOCATED ON THE SOUTHWEST CORNER OF FURNIVAL ROAD AND GRAY LINE. ELEVATION 198.405

No.	REVISIONS TO DRAWING	BY	Y/M/D	APP.
1.	ISSUED FOR LTVCA APPROVAL	RT	13/11/20	RJP

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

CLIENT

SEASIDE WATERFRONT INC.

DESIGNED: RJP

DRAWN: RT

CHECKED: RJP

ENGINEER'S STAMP: R.J. PUGLIERI, 90257097, PROVINCE OF ONTARIO

ENGINEER'S STAMP

Land Development Municipal Engineering and Wastewater Infrastructure

Alternative Energy Environmental Assessment Water Resources Engineering

**SCO-TERRA** CONSULTING GROUP LIMITED

321 DUFFERIN AVENUE, LONDON, ONTARIO, CANADA N6B 1Z3  
Tel: (519) 434-6270 Fax: (519) 434-6820 e-mail: info@scoterra.com

SEASIDE WATERFRONTS INC. COMMERCIAL BLOCK  
PART LOT 6, CONCESSION 14  
GEOGRAPHIC TOWNSHIP OF ALDBOROUGH  
PORT GLASGOW, MUNICIPALITY OF WEST ELGIN, COUNTY OF ELGIN

**SITE SERVICING and GRADING PLAN**

DATE:	20 NOV. 2013
SCALE:	1:250
PROJECT No.	E-13491
DWG. No.	SS1

## 5. Drawing No. SS2 General Construction Notes and Details

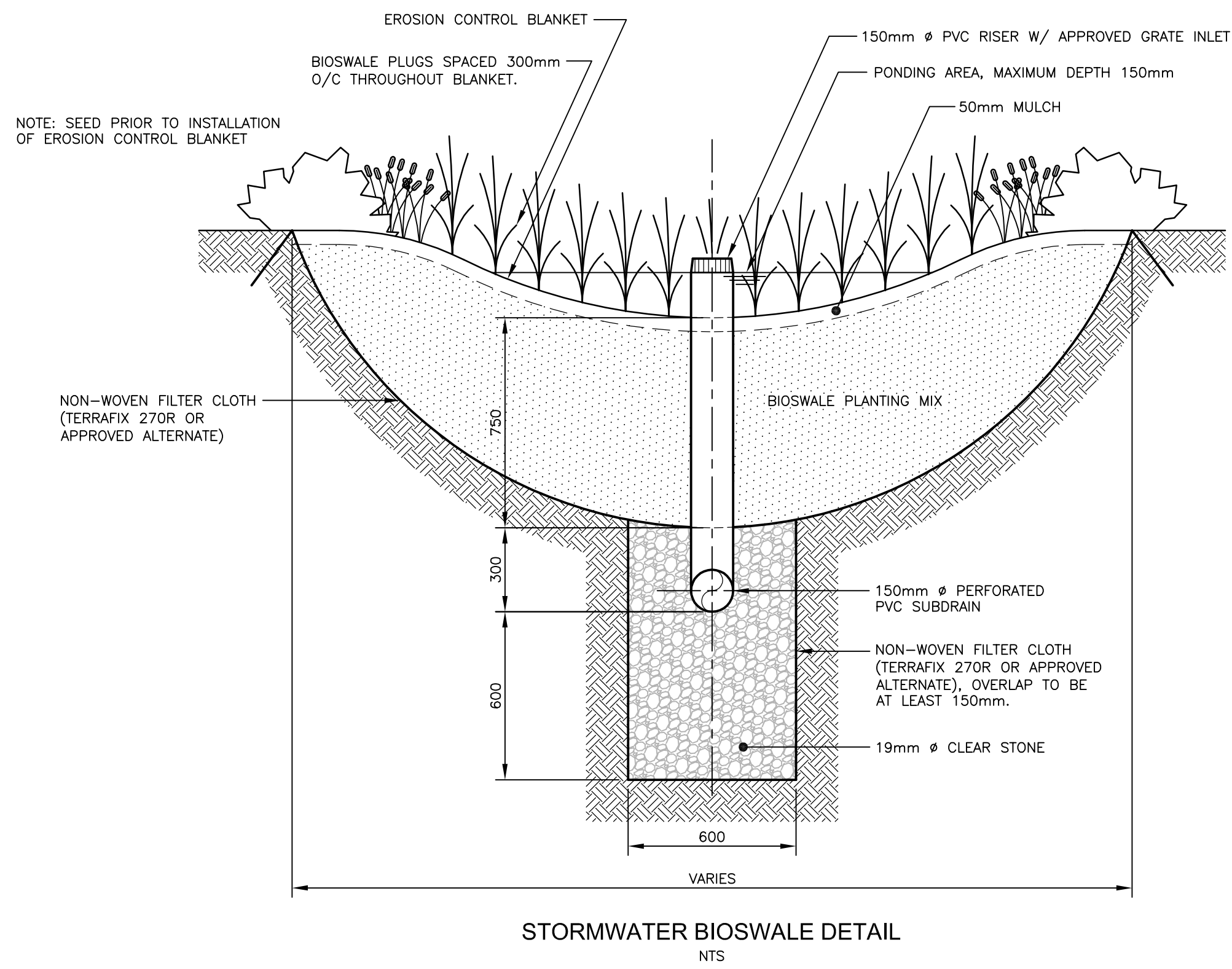
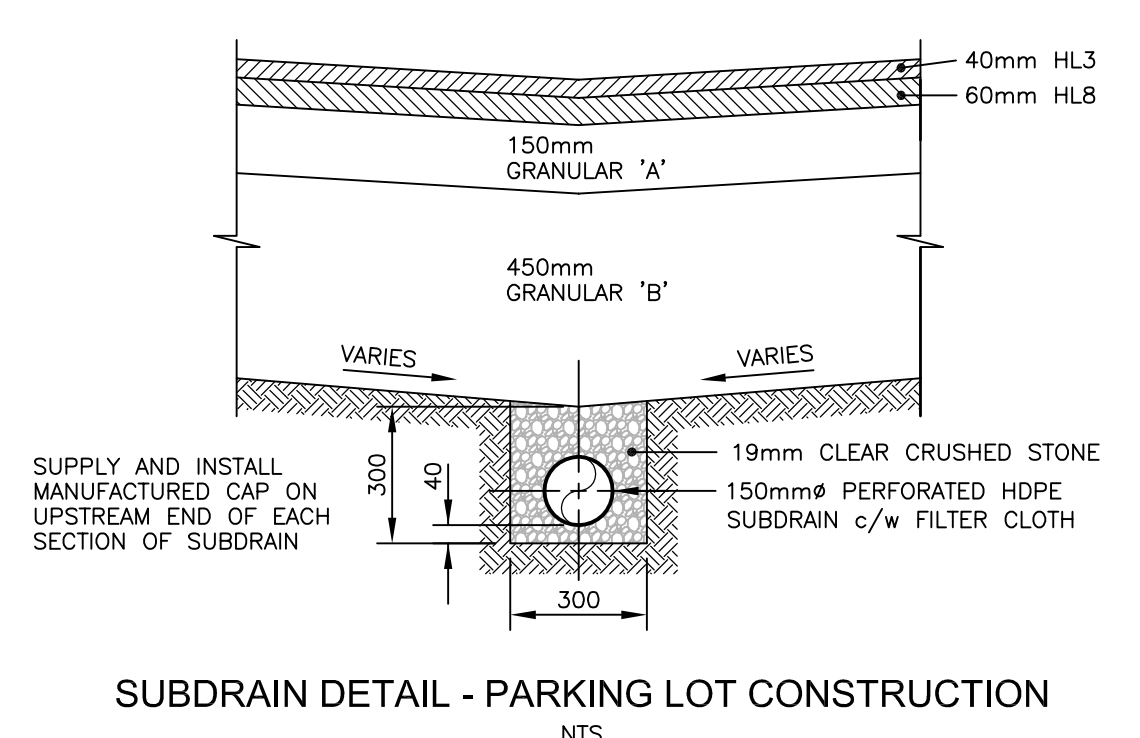
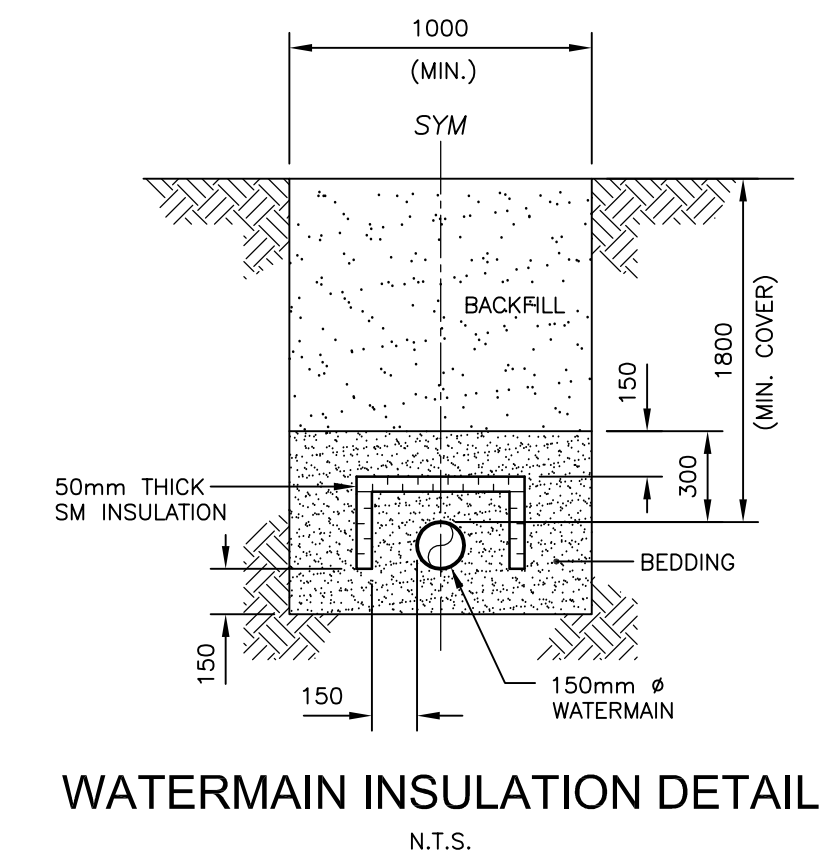
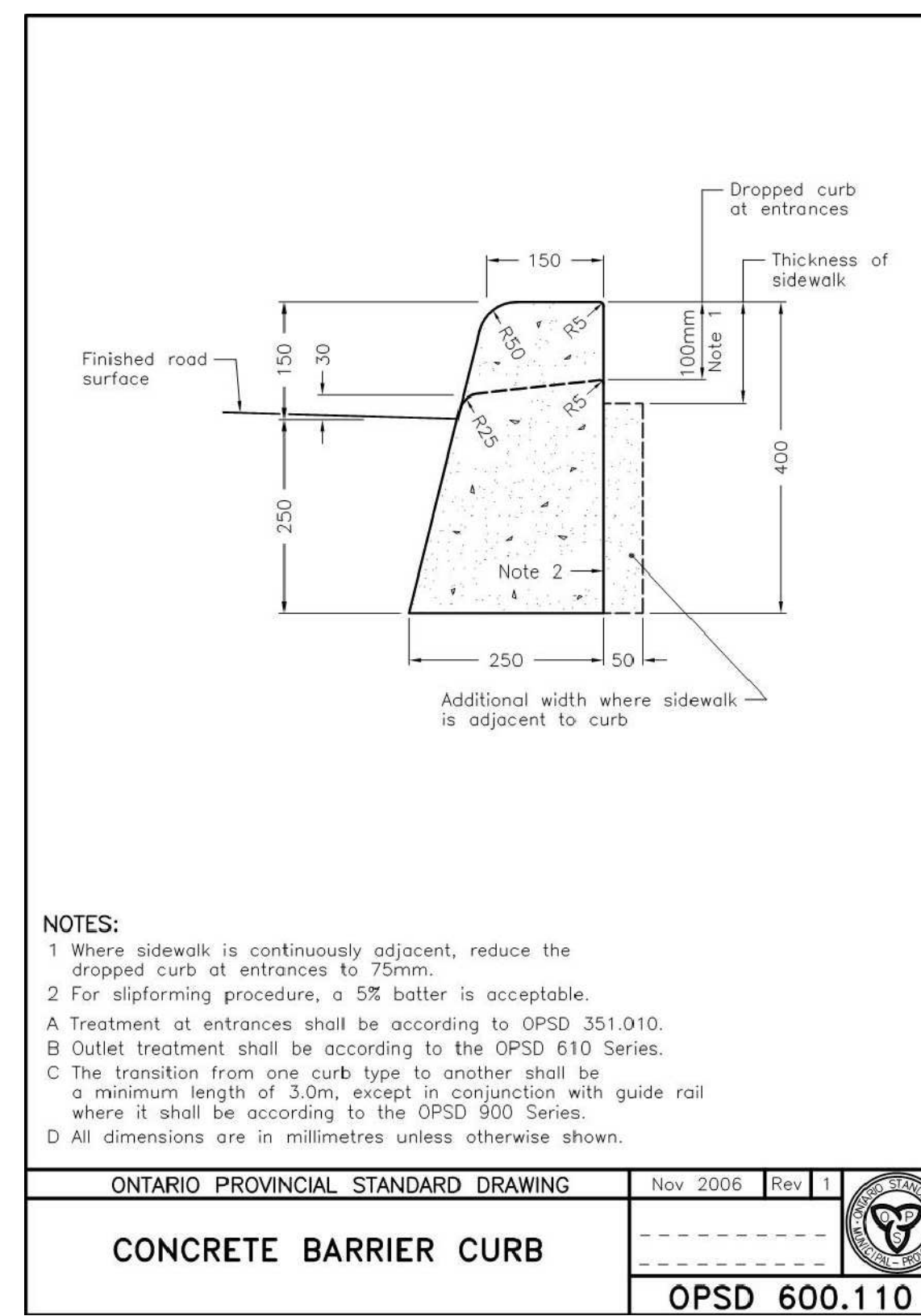
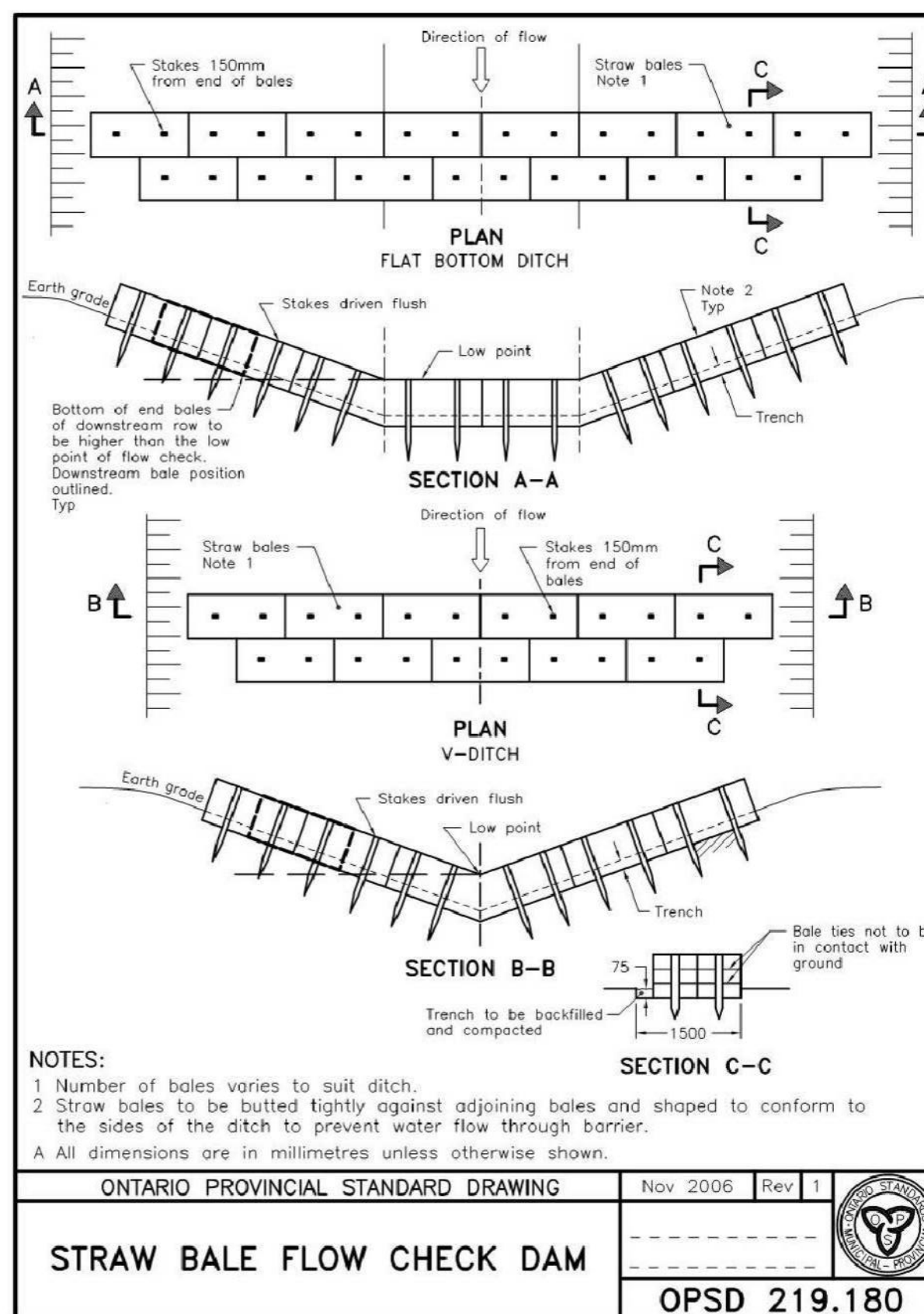
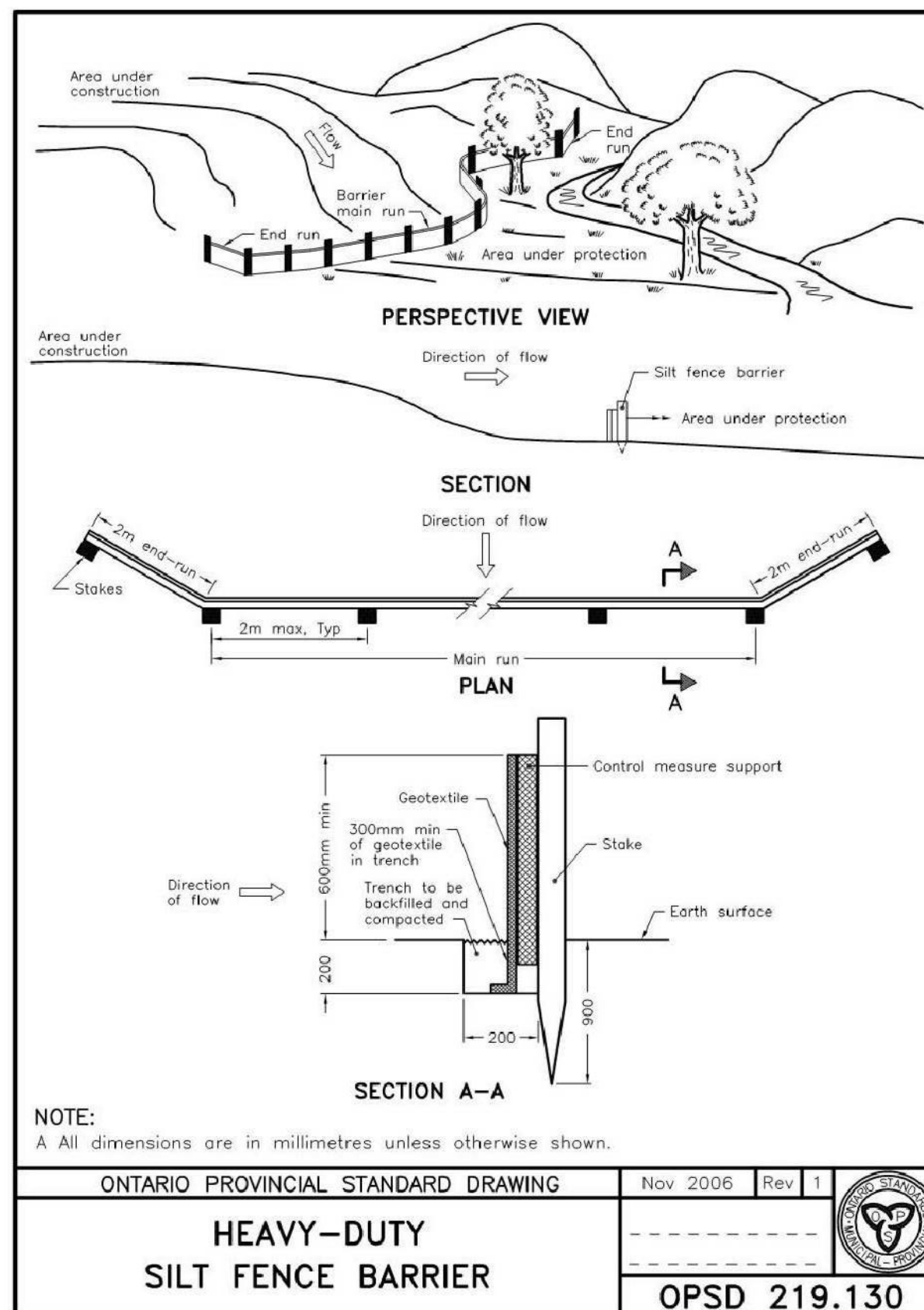
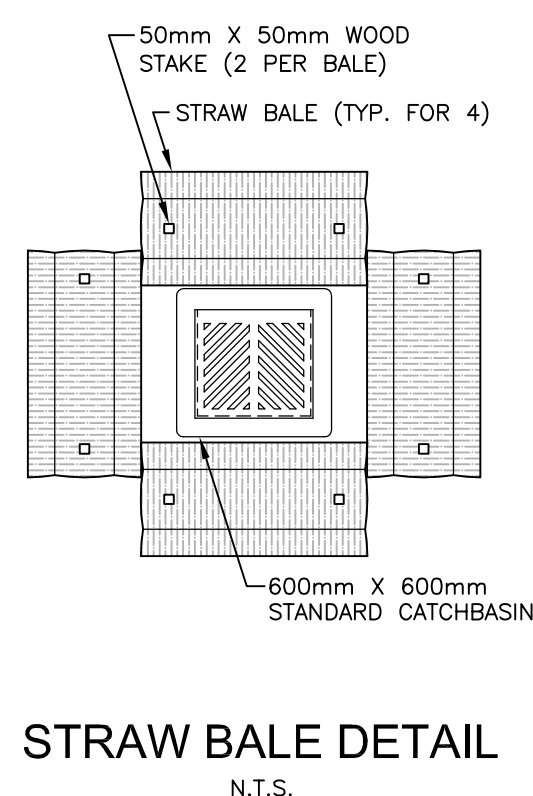
**GENERAL CONSTRUCTION NOTES:**

- All site works shall be completed in accordance with the Standards and Specifications of the Municipality of West Elgin. The Owner's Engineer shall conduct periodic inspections to ensure compliance with Municipal Standards.
- All work within road allowance and related connections to municipal services shall conform to the latest edition of the Municipality of West Elgin Design Specifications and Requirements, Municipality of West Elgin Standard Contract Documents for Municipal Construction Projects, and the Ontario Provincial Standards (OPS) for Roads and Municipal Services.
- Utility and Service locates shown on the plan are derived from field survey information (Topographic Plan of Survey) provided by MTE OLS Inc., Ontario Land Surveyors and Record Drawings (Servicing) provided by the Municipality of West Elgin.
- Prior to construction, the Contractor shall obtain locates for all existing underground utilities within the area of construction. The Contractor shall be responsible for the cost of repair or replacement of any utilities damaged or disturbed during construction, and shall immediately contact the appropriate utility owner upon such occurrence.
- Where utility crossings are required, the Contractor shall undertake appropriate measures for the temporary support of such utilities in accordance with the requirements of the utility owner, until such time as backfilling and compaction are completed.
- Prior to construction, the Contractor shall check and verify all site benchmarks, elevations, grades and dimensions, and immediately report any discrepancies to the Engineer.
- Contractor shall provide a minimum 48 hours notice to the Municipality of West Elgin Administration and Municipal Engineer prior to initiating excavation within municipal road allowance and installation of traffic control measures in accordance with the Traffic Control Plan approved by the Municipality of West Elgin.
- All works shall be undertaken in accordance with current Occupational Health and Safety Act requirements for Construction Projects.
- Prior to commencing the installation of any site services, an approved set of plans and specifications shall be available on the job site and shall remain on-site for the duration of construction.
- Existing surfaces (incl. concrete curbing, asphalt pavement, granular base, granular shoulders, etc.) within the road allowance of Haven's Lake Road that are disturbed during construction shall be restored to a condition at least as good as current conditions, to the satisfaction of the Municipality of West Elgin, all at no cost to the Municipality. Compaction of subgrade materials and bedding shall be undertaken in accordance with the recommendations of the Geotechnical Engineer.
- Proposed water service shall be 50mm dia. Munipecx conforming to ANWA C904 CSA B137.5, in Type 1 Bedding. Water service connection to existing watermain within Haven's Lake Road shall be in accordance with the Municipality of West Elgin Specifications.
- The water service is to be in the alignment indicated (1.7m min. to 1.9m max. cover), appropriately offset from storm and sanitary sewer connections with 600mm vertical clearances as necessary.
- All water service fittings and joints shall be restrained with mechanical thrust restraints in accordance with the owner's Engineer and the Municipality of West Elgin.
- The proposed water service shall be equipped with cathodic protection at flanged fittings and dense tape wrapping. All water service piping should be installed with tracer wire, being 12 gauge stranded copper wire (plastic coated) secured at 3 metre spacing and looped at each valve box. Commercial building service installation shall have regard for Standard W-CS-22.
- Internal water service is to be fitted with individual meter and remote register (exterior wall) per Municipality of West Elgin Standards. Refer to mechanical plans by others.
- A locate for Water Service Valve (50mm) shall consist of two directional dimensions on a plaque located on the face of the building where the water service enters, in accordance with Municipality of West Elgin Standards.
- Where any trench or excavation within the Municipal Road Allowance of Haven's Lake Road must cross under an existing watermain or where an existing watermain will be undermined during excavation, Preservation and Protection of existing watermain shall be in accordance with Municipality of West Elgin Standards.
- The new sanitary PDC to be extended to the proposed Commercial Building shall be 150mm dia. PVC SDR 28 with gasketed fittings in Type 1 Bedding, extended to within 0.50 metres of proposed building and capped for connection to building sewer by others.
- The roof downspouts (by others) shall be routed to a perimeter Bioswale (as shown on Drawing No. SS1 and Bioswale Detail on this drawing) which forms part of the internal storm drainage system. All downspout perimeter drains shall be provided with storm cleanouts at 15 metre intervals and immediately upstream of all bends.
- Proposed catchbasin leads shall be 250mm dia. HDPE (320 kPa) in Type 1 Bedding, shall have approved rubber gasket joints and shall be properly purged at catchbasin structure.
- Subdrains consisting of 150mm dia. perforated HDPE BOSS 2000 (or approved alternative) wrapped in filter cloth shall be installed along full length of internal parking lot aisle at inverted crown. Subdrains shall be connected to the catchbasin at 300mm below subgrade elevation with perforations turned down. Connections between pipe sections to be made with split couplers. Subdrains will also be installed and connected as outlined above, to two (2) sides of each catchbasin or catchbasin, extending out a length of 3.0m in accordance with Drawing No. SS1.
- Upon completion of storm sewer installation, Contractor shall flush, clean and pull a pig through all the catchbasin lead and storm sewer, and remove sediment from the sump of existing catchbasin.
- Non-woven Geotextile and 25mm Clear Stone filters shall be installed at each catchbasin and catchbasin maintenance hole upon installation, and shall be maintained for the duration of construction until paving commences (refer to Erosion and Sediment Control Notes this drawing).
- Excavations for installation of proposed storm sewer structures including OGS units, maintenance holes and catchbasins shall be backfilled with OPSS Granular 'A' material compacted to 100% Standard Proctor Density. Backfill material shall be free or organic material.
- Contractor shall be responsible for trench dewatering as necessary to complete installation of Site Services, including acquisition of 'Temporary' Permit To Take Water (if necessary), all at no extra cost to Contractor. The Contractor shall examine the Geotechnical Report and associated Borehole Data to assess potential dewatering requirements.
- Unless otherwise noted, concrete curb adjacent to proposed sidewalk to be constructed in combination with sidewalk in accordance with OPSD 310.020, "Combination Curb-Face Sidewalk".

- All concrete curb shall be OPSD 600.11 Barrier Curb unless otherwise noted. Concrete shall be O.P.S.S. Mix, 30 MPa in 28 Days unless otherwise indicated.
- Sidewalk construction shall conform to OPSD 310.010 "Concrete Sidewalk" and OPSD 310.030 "Concrete Sidewalk Ramps".
- Entrances, Laneways and Parking Lot Construction - Contractor shall strip topsoil and excavate the affected areas of site to the specified subgrade elevation. Prior to placement of granular sub-base material, contractor shall arrange a subgrade inspection by the Geotechnical Engineer. Any remaining organic topsoil, compressible or otherwise unsuitable material shall be removed and the subgrade shall be proof rolled with a heavy roller, as directed by the Geotechnical Engineer. Fill required to restore the subgrade shall consist of OPSS 1010 Granular 'B' compacted to 100% Standard Proctor Density to the satisfaction of the Geotechnical Engineer.
- Subject to inspection of subgrade conditions by the Geotechnical Engineer at the time of construction, the recommended pavement structure for Parking Areas and Internal Access Roads is as follows:
- Pavement Structure Surface: 40mm HL3 Asphaltic Concrete compacted to 97% Marshall; 60mm HL5 Base Asphaltic Concrete compacted to 97% Marshall; 150mm OPSS Granular 'A' Base compacted to 100% Standard Proctor Density; 450mm OPSS Granular 'B' Base compacted to 100% Standard Proctor Density;
- Erosion and sediment controls (straw bale flow checks, perimeter silt fencing and hydro seed) shall be implemented in accordance with the Municipality of West Elgin. All controls shall be monitored regularly by Contractor for the duration of construction.
- Excavated material is to be disposed of off-site at no extra cost to the contract. Upon completion of site work, contractor shall stabilize/restore site and all disturbed areas with topsoil and hydro seed, at not extra cost to the contract.
- Topsoil (150mm) and Seed (Canada No.1 seed mix) all disturbed areas. Boulevard restoration adjacent to Haven's Lake Road shall be completed in accordance with the requirements of the Municipality of West Elgin.
- Legal boundary and topographical site information referenced from MTE OLS Inc., Ontario Land Surveyors.
- Servicing information on Haven's Lake Road was obtained from As-built Drawings provided by the Municipality of West Elgin and Topographical Plan of Survey by MTE OLS Inc., Ontario Land Surveyors dated (TBD).
- For building and structural information, reference should be drawn to the plans prepared by Harrison Design Associates Architects. For mechanical/electrical building services, reference should be drawn to the plans prepared by Ron Kaudy's Landscape Architect. For geotechnical information, reference should be drawn to the reports of LVM Inc., Golder Associates Limited and any subsequent addendums or revisions.

**EROSION and SEDIMENT CONTROL**

- Protect all exposed surfaces and control all runoff during construction.
- All erosion measures to be in place before starting construction and remain in place until restoration complete.
- Maintain erosion control measures during construction.
- All collected sediment to be disposed of at an approved location.
- Minimize area disturbed during construction.
- All dewatering to be disposed of in an approved sediment basin.
- Protect all catchbasins, manholes and pipe ends from sediment intrusion.
- Keep all sumps clean during construction.
- Prevent wind blown dust.
- Straw bales to be used in localized areas as shown and as directed by the Engineer during construction.
- All silt fencing and details are at the minimum to be constructed in accordance with the Ministry of Natural Resources Guidelines on Erosion and Sediment Control for Urban Construction Sites and in accordance with the requirements of the LTVCA.
- All of the above notes and any sediment and erosion control measures are at the minimum to be in accordance with the Ministry of Natural Resources Guidelines on Erosion and Sediment Control for Urban Construction Sites and in accordance with the requirements of the LTVCA.



ISSUED FOR LTVCA APPROVAL

furgon Nov-22/13-1:30pm E13491 Commercial Site Servicing.dwg

BENCHMARK		CLIENT	
ELEVATIONS ARE GEODETIC AND REFERRED TO STATION 0011971U076 BEING BENCHMARK IN A MANHOLE IN THE GROUNDS OF KNOX PRESBYTERIAN CHURCH ON THE SOUTHWEST SIDE OF COUNTY ROAD No. 3 IMMEDIATELY SOUTHEAST OF HIGHWAY 3 INTERSECTION. ELEVATION = 200.149			
SITE BENCHMARK			
CUT-CROSS IN CURB LOCATED ON THE SOUTHWEST CORNER OF FURNIVAL ROAD AND GRAY LINE. ELEVATION 198.405			
1.	ISSUED FOR LTVCA APPROVAL	RT	13/11/20
No.	REVISIONS TO DRAWING	BY	Y/M/D APP.
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED			



DESIGNED	RJP	ENGINEER'S STAMP	[Stamp]
DRAWN	RT	ENGINEER'S STAMP	[Stamp]
CHECKED	RJP		

Land Development Municipal Engineering  
Alternative Energy Environmental Assessment  
Water Resources Engineering

**SCO-TERRA**  
CONSULTING GROUP LIMITED

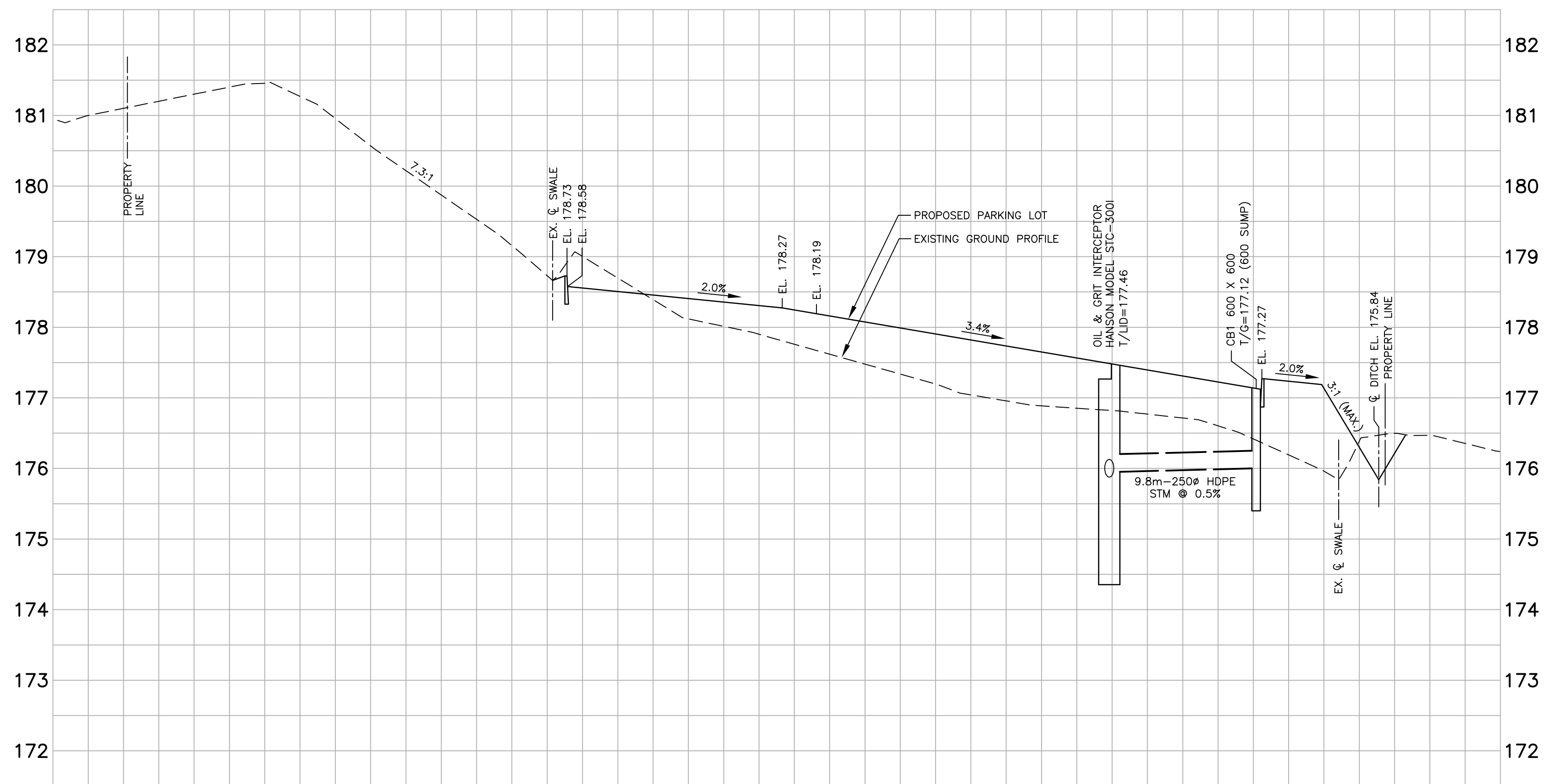
321 DUFFERIN AVENUE, LONDON, ONTARIO, CANADA N6B 1Z3  
Tel: (519) 434-6270 Fax: (519) 434-6620 e-mail: info@scoterra.com

SEASIDE WATERFRONTS INC. COMMERCIAL BLOCK  
PART LOT 6, CONCESSION 14, BLOCK 109  
GEOGRAPHIC TOWNSHIP OF ALDBOROUGH  
PORT GLASGOW, MUNICIPALITY OF WEST ELGIN, COUNTY OF ELGIN

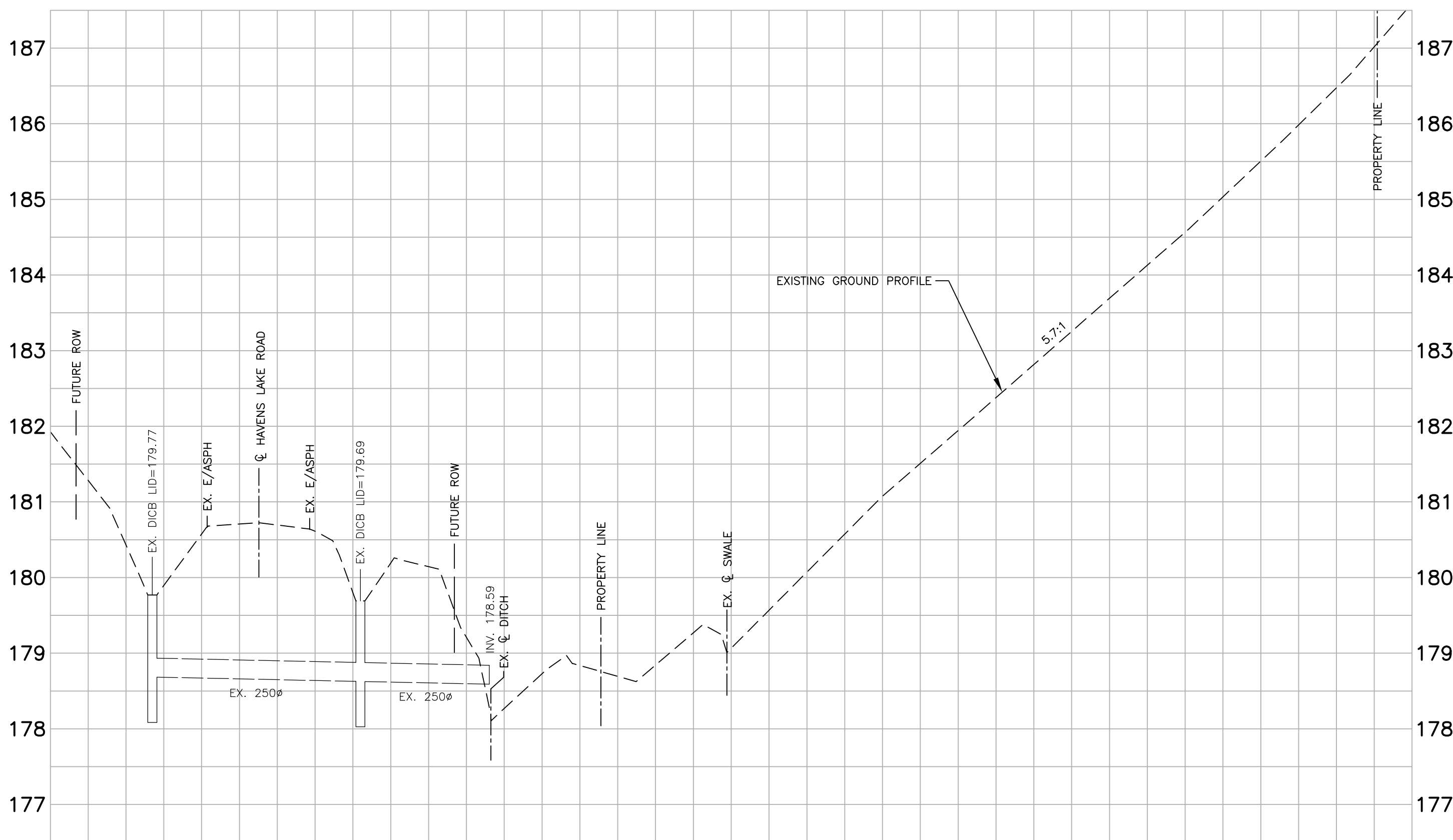
**GENERAL CONSTRUCTION NOTES and DETAILS**

DATE:	20 NOV. 2013
SCALE:	NTS
PROJECT No.	E-13491
DWG. No.	SS2

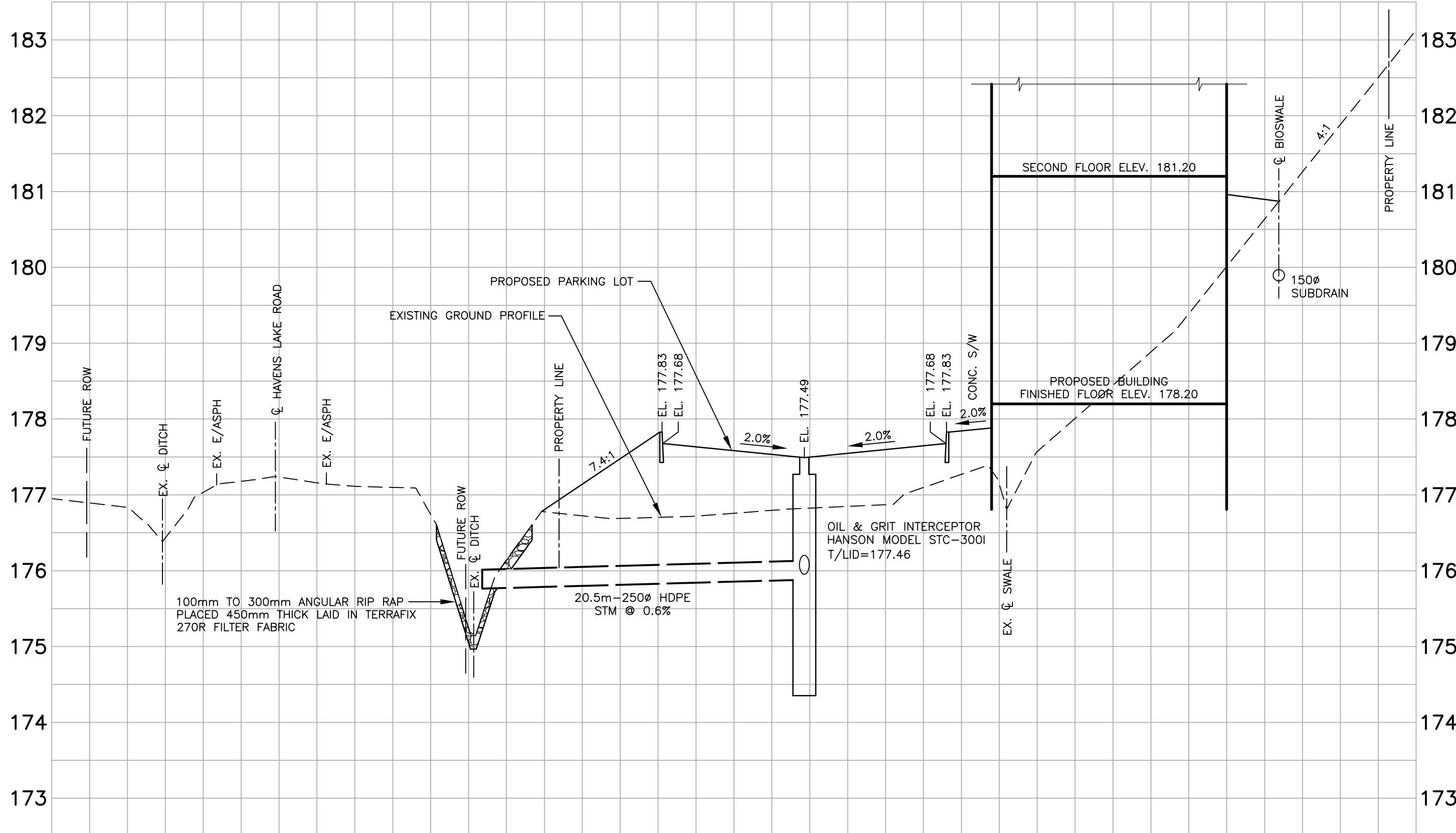
## 6. Drawing No. SS3 Grading Sections



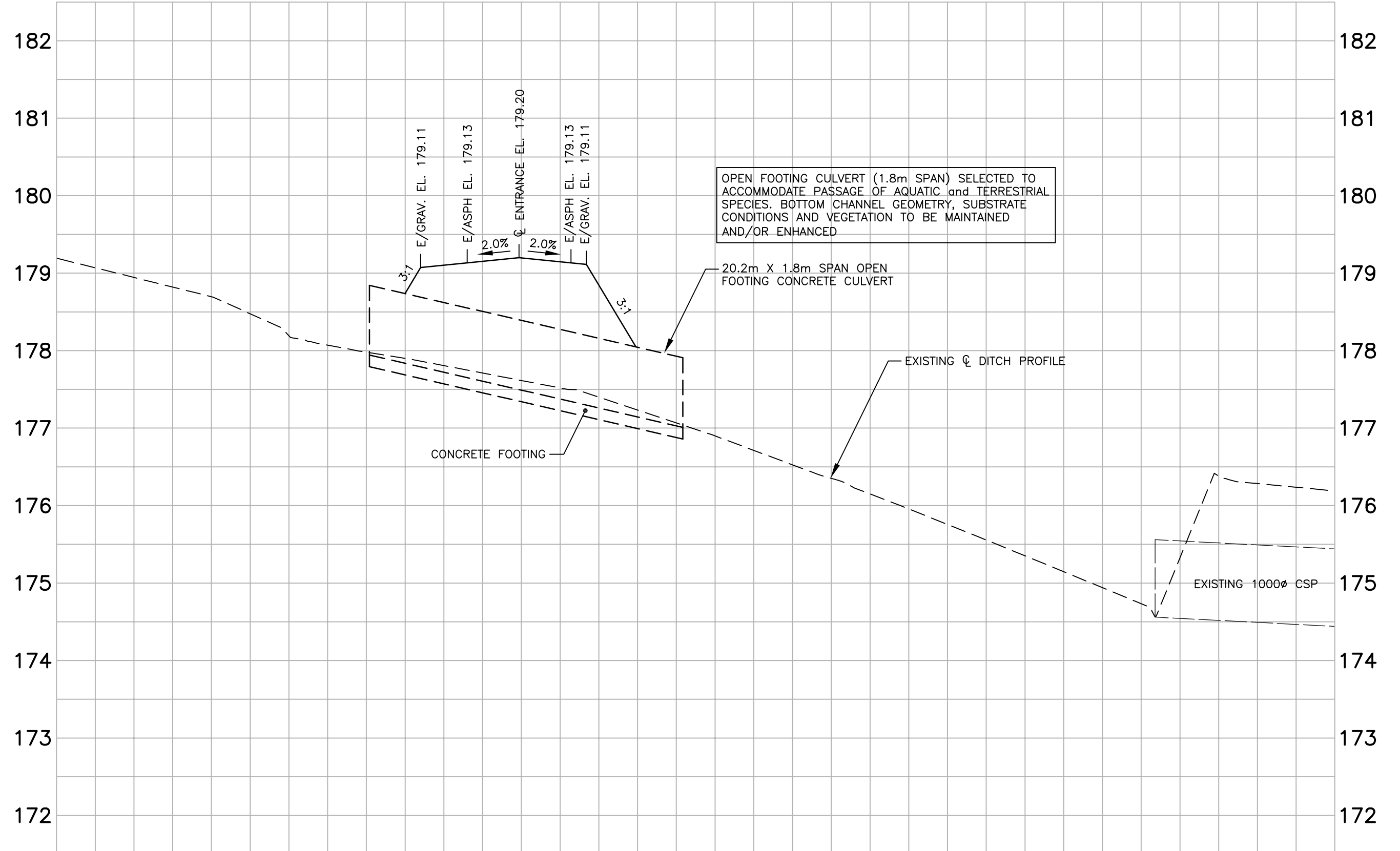
SECTION A  
SS1



SECTION B  
SS1



SECTION C  
SS1



SECTION D  
SS1

ISSUED FOR LTVCA APPROVAL

R:\p\2013\11\21\pm E13491 Commercial Site Servicing.dwg

**BENCHMARK**  
ELEVATIONS ARE GEODETIC AND REFERRED TO STATION 0011971U076 BEING BENCHMARK IN A MANHOLE IN THE GROUNDS OF KNOX PRESBYTERIAN CHURCH ON THE SOUTHWEST SIDE OF COUNTY ROAD No. 3 IMMEDIATELY SOUTHEAST OF HIGHWAY 3 INTERSECTION. ELEVATION = 200.149

**SITE BENCHMARK**  
CUT-CROSS IN CURB LOCATED ON THE SOUTHWEST CORNER OF FURNIVAL ROAD AND GRAY LINE. ELEVATION 198.405

No.	REVISIONS TO DRAWING	BY	Y/M/D	APP.
1.	ISSUED FOR LTVCA APPROVAL	RT	13/11/20	RJP
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED				

CLIENT

SEASIDE WATERFRONT INC.

DESIGNED: RJP  
DRAWN: RT  
CHECKED: RJP

ENGINEER'S STAMP  
LICENSED PROFESSIONAL ENGINEER  
R.J. PUGERIN  
90257097  
PROVINCE OF ONTARIO

ENGINEER'S STAMP

Land Development  
Municipal Engineering  
Water and Wastewater Infrastructure

Alternative Energy  
Environmental Assessment  
Water Resources Engineering

**SCO-TERRA**  
CONSULTING GROUP LIMITED

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GEOGRAPHIC TOWNSHIP OF ALDBOROUGH  
PORT GLASGOW, MUNICIPALITY OF WEST ELGIN, COUNTY OF ELGIN

**GRADING SECTIONS**

DATE: 20 NOV. 2013  
SCALE: 1:250 HORIZ.  
1:50 VERT.  
PROJECT No.: E-13491  
DWG. No.: **SS3**



## 7. Consent for Land Severance Application